

SECTION 4.55 - MODIFICATION

ALTERATIONS & ADDITIONS - FIRST FLOOR ADDITION

19 EARLWOOD AVENUE

FOR

MR STAMATIS DRAKOS

DRAWING LIST

Sheet No.	Sheet Name
01	EXISTING SITE & ROOF PLAN
02	PROPOSED DEMOLITION PLAN
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17	B.C.A NCC SPECIFICATIONS



AMENDMENT NOTES: ISSUE D - 12/09/2023
- AMEND ROOF RIDGE
- GENERAL REVIEW OF WINDOWS

D	SECTION 4.55 - MODIFICATION TO DA	12-09-2023	D.P	E.J.S
C	CONSTRUCTION CERTIFICATE	28-07-21	M.K	E.J.S
B	ADDITIONAL INFORMATION FOR COUNCIL LETTER	25-06-21	M.K	E.J.S
A	DEVELOPMENT APPLICATION	19-05-2021	M.K	E.J.S
ISSUE	AMENDMENTS	DATE	DRN	CHK

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PROJECT
ALTERATIONS & ADDITIONS -
FIRST FLOOR ADDITION

PROJECT STATUS
SECTION 4.55 - MODIFICATION

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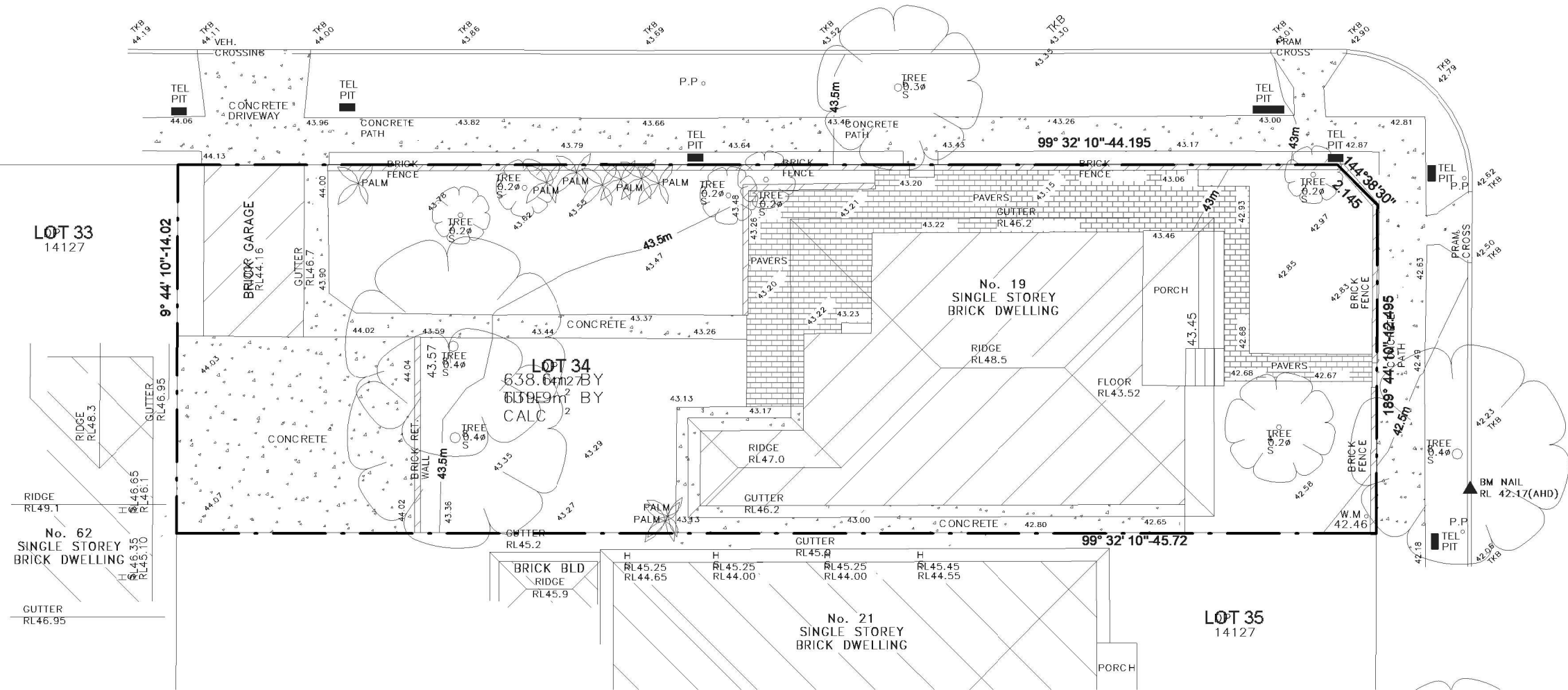


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Principal Design Practitioner: PDP0000407

GUEUDECOURT AVE

EARLWOOD AVENUE



1

EXISTING SITE & ROOF PLAN

1 : 200

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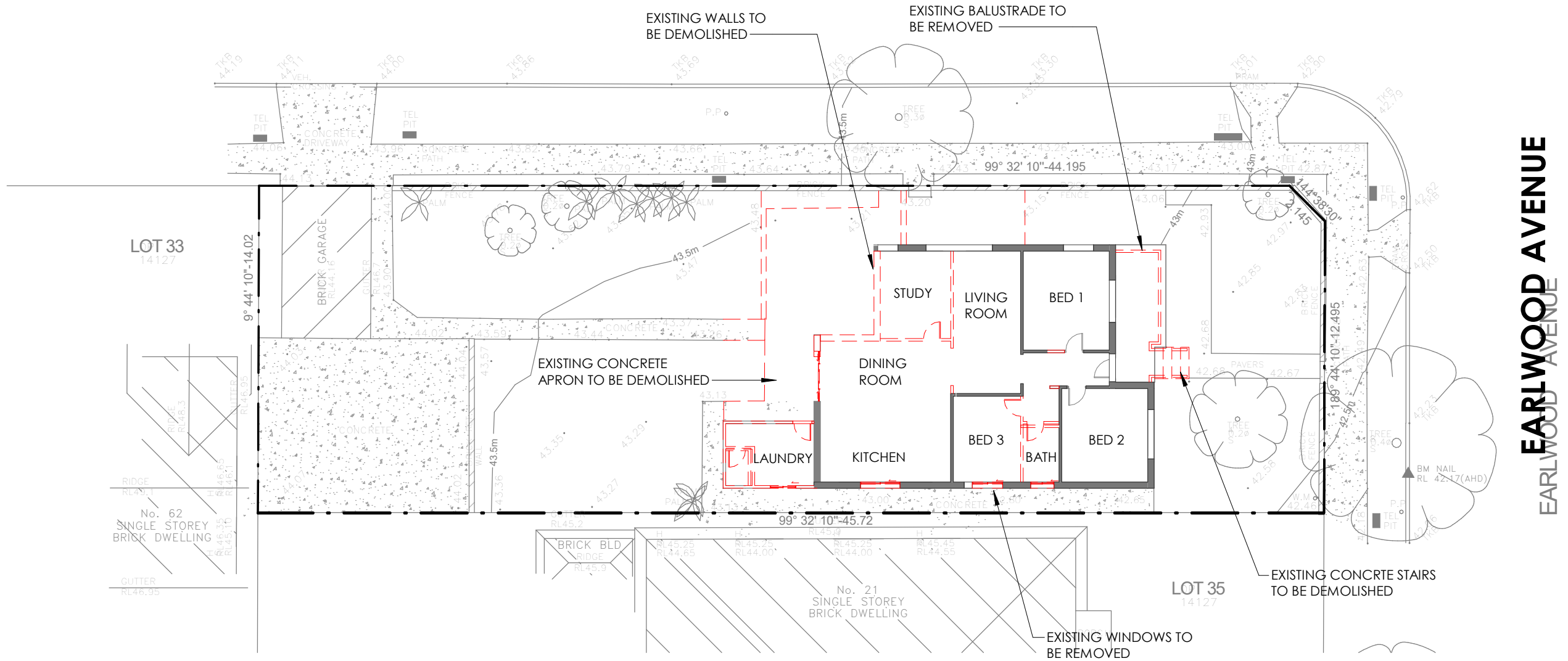
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GUEUDECOURT AVE



EARLOWOOD AVENUE

1

PROPOSED DEMOLITION PLAN

1 : 200

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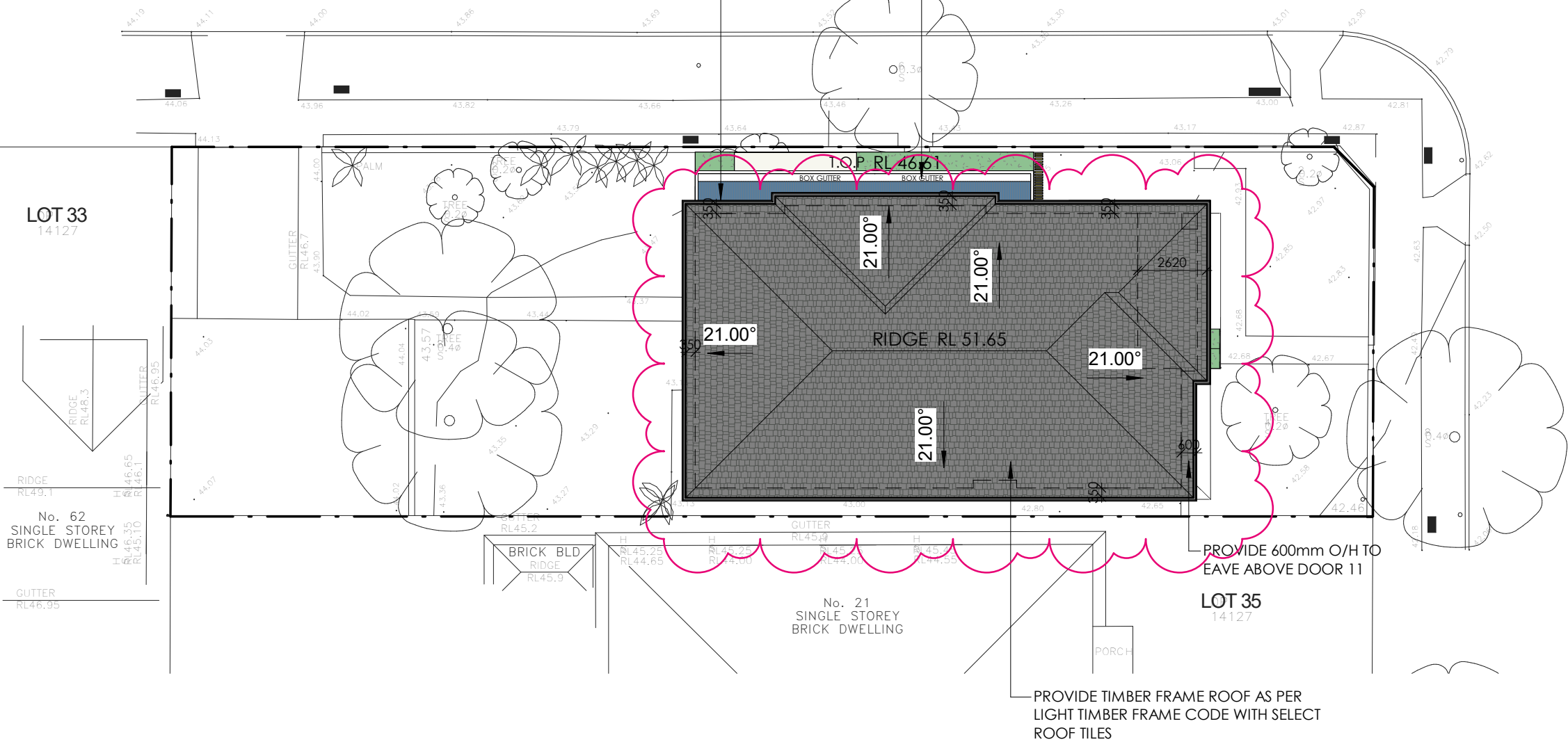
GENERAL NOTES

- DOUBLE BRICK CONSTRUCTION WITH CEMENT RENDER & PAINT FINISH TO GROUND FLOOR
- BRICK VENEER CONSTRUCTION WITH CEMENT RENDER & PAINT FINISH TO FIRST FLOOR
- RC SLABS, FOOTINGS, BEAMS AND STAIRS TO ENGINEER'S DETAILS
- COLORBOND ALUMINIUM GUTTERS, FASCIAS AND DOWNPIPES
- POWDERCOATED ALUMINIUM WINDOW AND DOOR ASSEMBLIES - REFER TO SCHEDULES
- SELECTED TIMBER ENTRY DOOR WITH PAINT FINISH
- TIMBER FRAMED ROOF STRUCTURE AS PER LIGHT TIMBER FRAME CODE WITH SELECTED TILE FINISH
- SELECTED 1000mm HIGH BALUSTRADING
- REFER TO BASIX FOR WATER, ENERGY AND THERMAL COMFORT COMMITMENTS
- REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR STORMWATER MANAGEMENT DETAILS
- PROVIDE TIMBER STUD WALL CONSTRUCTION WITH 75mm INSULCLAD WALL PANELS WITH SELECT PAINT FINISH TO FIRST FLOOR

GUEUDECOURT AVE

PROVIDE COLORBOND ALUMINIUM GUTTERS, FASCIAS & DOWNPIPES TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYDRAULIC ENGINEERS DETAILS

PROVIDE COLORBOND ALUMINIUM BOX GUTTER, RAIN HEADS & DOWN PIPES TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYD. ENGINEERS DETAILS



EARLWOOD AVENUE

1 PROPOSED SITE & ROOF PLAN

1 : 200

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PROPOSED SITE PLAN

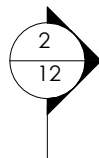
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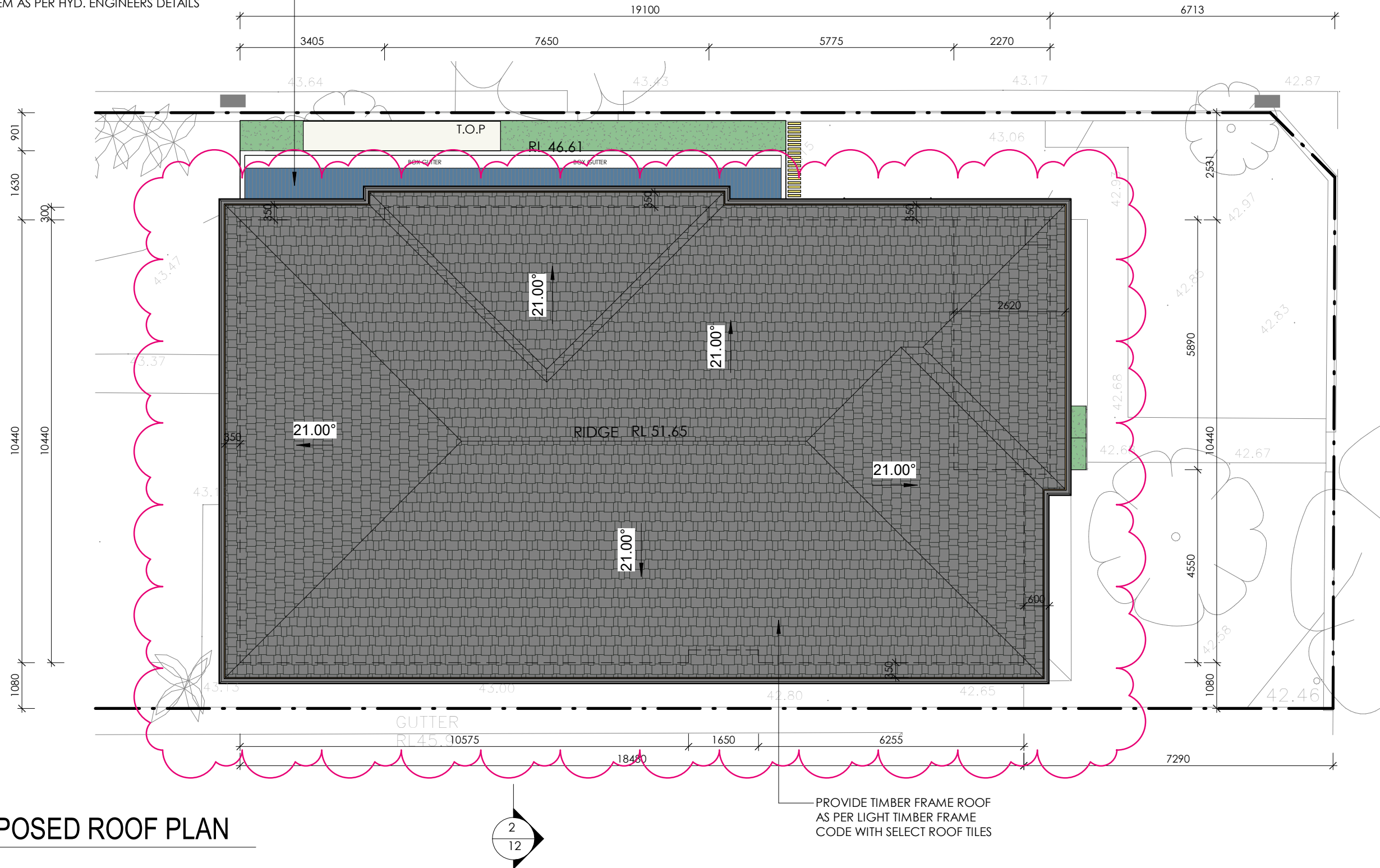
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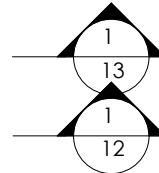
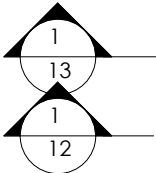
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- ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING
- ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING
- ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR MINIMUM 3 STAR WATER RATING

PROVIDE COLORBOND ALUMINIUM BOX GUTTER ,
RAIN HEADS & DOWN PIPES TO BE CONNECTED TO
DRAINAGE SYSTEM AS PER HYD. ENGINEERS DETAILS



PROVIDE TIMBER FRAME ROOF
AS PER LIGHT TIMBER FRAME
CODE WITH SELECT ROOF TILES



1

PROPOSED ROOF PLAN

1 : 100

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PROVIDE COLORBOND ALUMINIUM GUTTERS, FASCIAS, & DOWNPIPES TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYDRAULIC ENGINEERS DETAILS

PROVIDE ALUMINIUM POWDER COAT WINDOW FRAMES WITH SELECT GLAZING AS PER WINDOW SCHEDULE & BASIX CERTIFICATE

PROVIDE ALUMINIUM POWDER COAT BATTENS WITH TIMBER LOOK FINISH

PROVIDE ALUMINIUM POWDER COAT AWNINGS AS PER BASIX CERTIFICATE

PROVIDE BRICK CAPPING TO PORCH BALUSTRADE

REMOVE EXISTING BALUSTRADE & PROVIDE NEW 500mm HIGH WALL WITH 12mm NOM. CEMENT RENDER WITH SELECT PAINT FINISH

PROVIDE TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF TILES

PROVIDE MONUMENT DULUX ALUMINIUM HOODS TO WINDOWS

PROVIDE 75mm INSULCILD WALL ON LIGHT FRAME STUD WALL CONSTRUCTION WITH DULUX WINDSPRAY PAINT FINISH

PROVIDE BRICK VENEER CONSTRUCTION WITH 12mm NOM. THICK CEMENT RENDER WITH DULUX WHITE PAINT FINISH

PROVIDE COLORBOND ALUMINIUM BOX GUTTER, RAIN HEAD & DOWNPIPES BEHIND PARAPET TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYDRAULIC ENGINEERS DETAILS

PROVIDE DOUBLE BRICK CONSTRUCTION WITH 12mm NOM. THICK CEMENT RENDER WITH SELECT PAINT FINISH TO GROUND FLOOR LEVEL

1

PROPOSED NORTHERN ELEVATION

1 : 100

PROVIDE COLORBOND ALUMINIUM GUTTER, FASCIAS & DOWNPIPES TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYD. ENGINEERS DETAILS

FIRST CL
RL 49.320

FIRST FL
RL 46.620

GROUND CL
RL 46.320

PROVIDE ALUMINIUM POWDER COAT WINDOW FRAMES WITH SELECT GLAZING AS PER WINDOW SCHEDULE AND BASIX CERTIFICATE

GROUND FL
RL 43.520

PROVIDE TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF TILES

PROVIDE 75mm INSULCILD WALL ON LIGHT FRAME STUD WALL CONSTRUCTION WITH DULUX WINDSPRAY PAINT FINISH

PROVIDE 1000mm HIGH TIMBER STUD WALL WITH F.C SHEETING & SELECT PAINT FINISH

PROVIDE BRICK VENEER CONSTRUCTION WITH 12mm NOM. THICK CEMENT RENDER WITH DULUX WHITE PAINT FINISH

PROVIDE ALUMINIUM POWDER COAT BATTENS WITH TIMBER LOOK FINISH

PROVIDE 12mm NOM. THICK CEMENT RENDER WITH SELECT PAINT FINISH TO ALL NEW & EXISTING WALLS

2

PROPOSED SOUTHERN ELEVATION

1 : 100

BRICK UP EXISTING INLOW OPENINGS

PROVIDE COLORBOND CAPPING TO FLASH OVER GROUND FLOOR BRICK WALL

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PROPOSED NORTHERN & SOUTHERN ELEVATION

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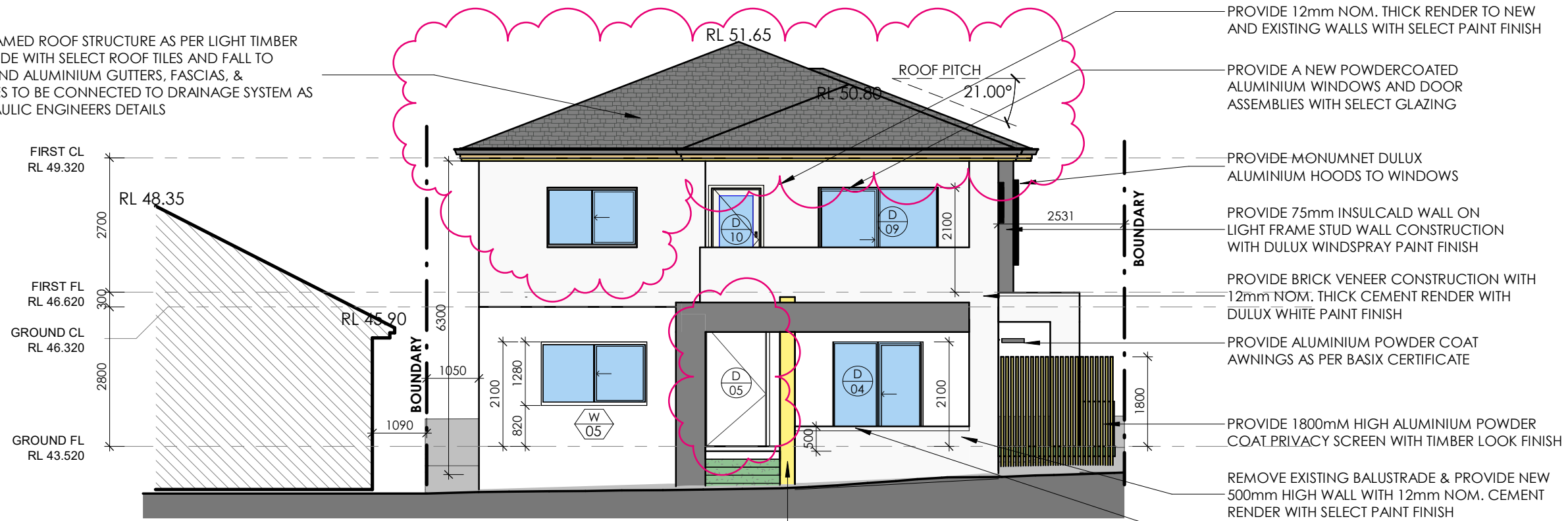
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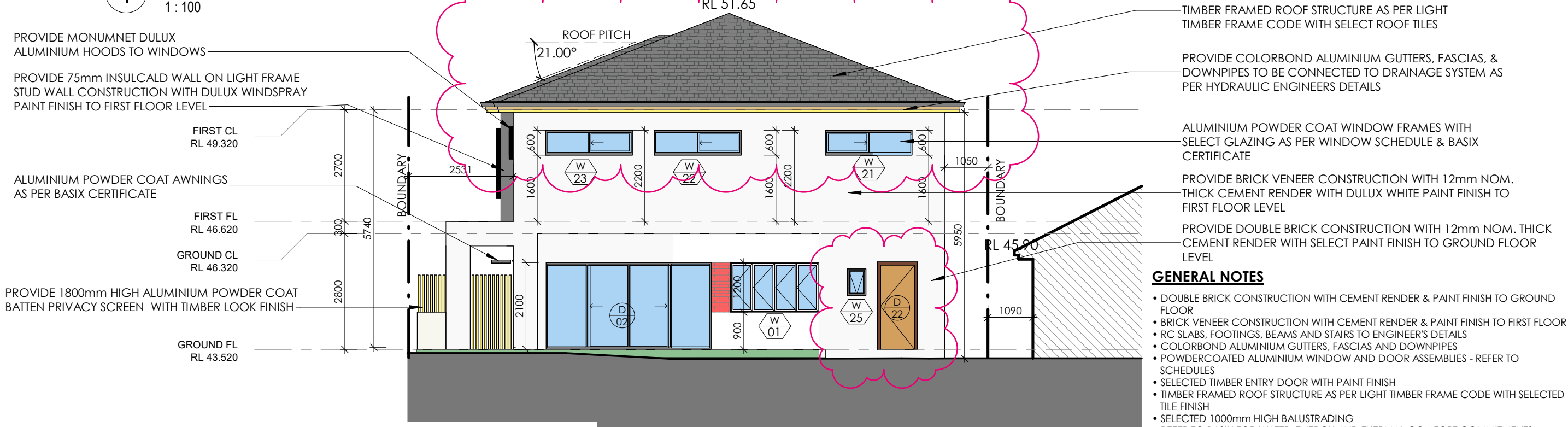
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TIMBER FRAMED ROOF STRUCTURE AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF TILES AND FALL TO COLORBOND ALUMINIUM GUTTERS, FASCIAS, & DOWNPIPES TO BE CONNECTED TO DRAINAGE SYSTEM AS PER HYDRAULIC ENGINEERS DETAILS



1 PROPOSED EASTERN ELEVATION
1 : 100



2 PROPOSED WESTERN ELEVATION
1 : 100

- GENERAL NOTES**
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 - BRICK VENEER CONSTRUCTION WITH CEMENT RENDER & PAINT FINISH TO FIRST FLOOR
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 - TIMBER FRAMED ROOF STRUCTURE AS PER LIGHT TIMBER FRAME CODE WITH SELECTED TILE FINISH
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 - REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR STORMWATER MANAGEMENT DETAILS
 - PROVIDE TIMBER STUD WALL CONSTRUCTION WITH 75mm INSULCLAD WALL PANELS WITH SELECT PAINT FINISH TO FIRST FLOOR

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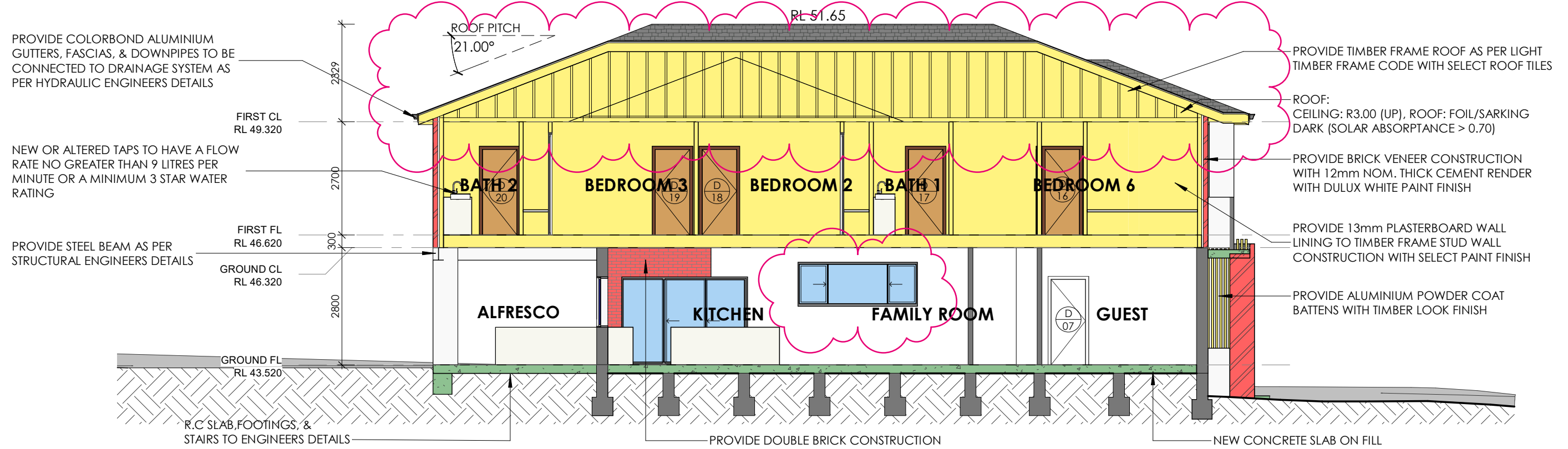
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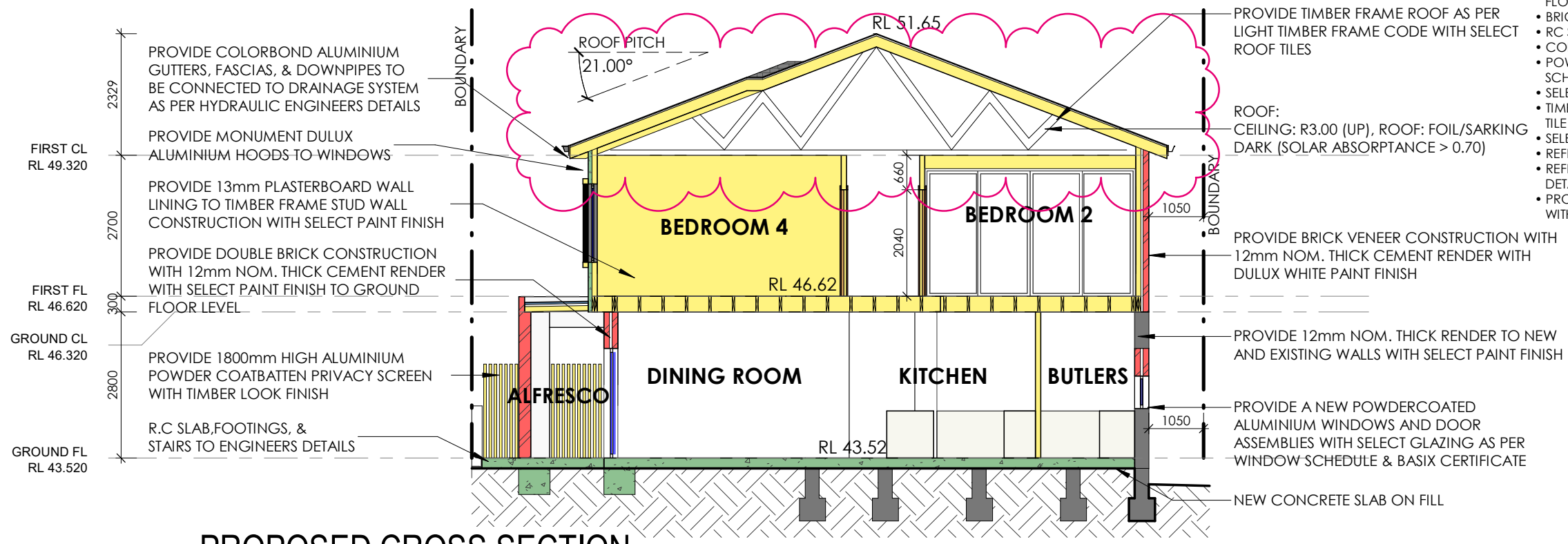
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1 PROPOSED LONGITUDINAL SECTION 1
1 : 100

GENERAL NOTES

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- BRICK VENEER CONSTRUCTION WITH CEMENT RENDER & PAINT FINISH TO FIRST FLOOR
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2 PROPOSED CROSS SECTION
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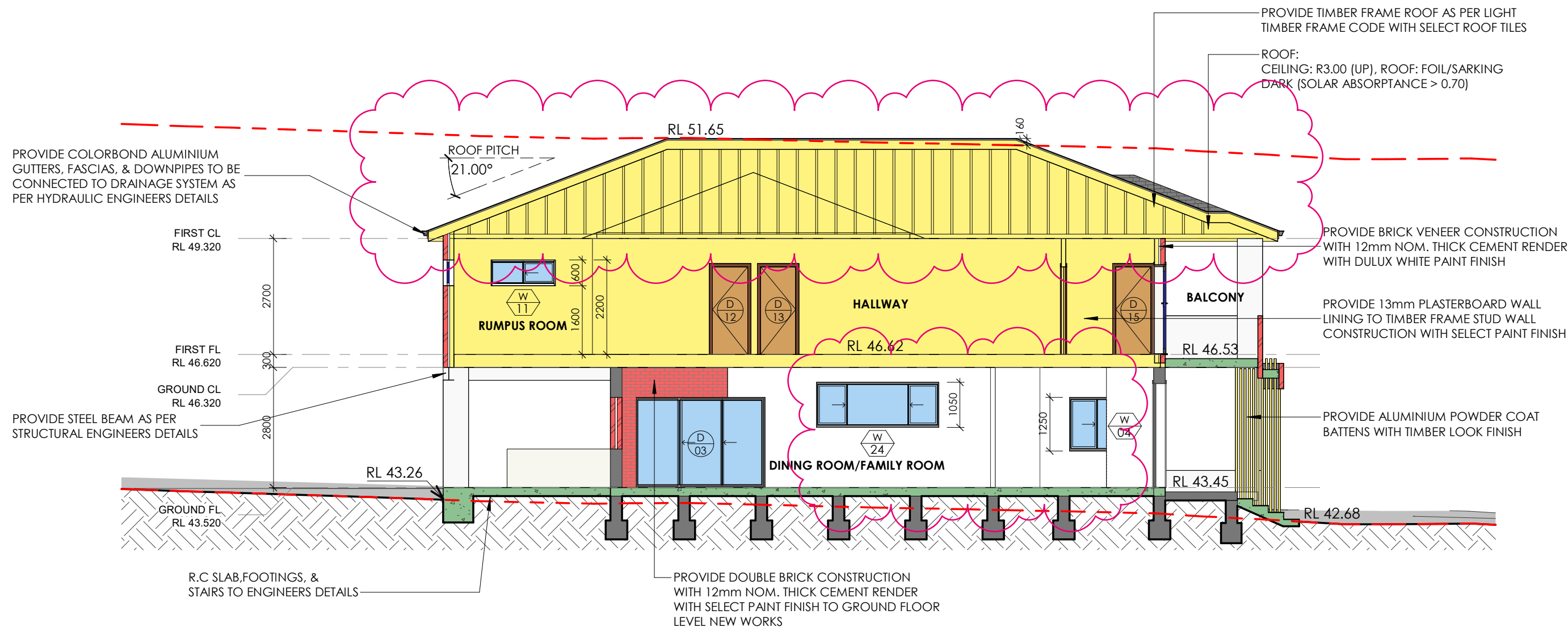
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1 PROPOSED LONGITUDINAL SECTION 2

1 : 100

COMMITMENTS IN THE BASIX

- ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
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ALTERATIONS & ADDITIONS -
FIRST FLOOR ADDITION

PROJECT STATUS
SECTION 4.55 - MODIFICATION

DRAWING TITLE
PROPOSED LONGITUDINAL SECTION 2

SHEET NO: 13 ISSUE: D
SCALE: 1 : 100@A3 JOB NO: 888 1539
DESIGN: EJS DRAWN: D.P CHECKED BY: E.J.S

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Contractor(s) to verify all dimensions on site before
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be taken in preference to scaling.

Rod O'Leary: Nominated Architect NSW A.R.B. 6520.
Principal Design Practitioner: PDP0000407

WINDOW SCHEDULE							
Level	Mark	Height	Width	Window Area	Head Height	Description	Basix Requirments
GROUND FL	01	1200	2140	2.57	2100	Alum. Frame Bi-Fold Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	04	1250	1280	1.60	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	05	1280	2120	2.71	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	06	3000	1200	3.60	5200	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	07	600	1500	0.90	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	08	620	4000	2.48	1570	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	09	600	1850	1.11	2450	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	24	1050	2850	2.99	2450	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	25	640	450	0.29	1946	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	11	600	1500	0.90	2200	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	12	1500	1810	2.72	2150	Alum. Frame 2 Panel Awning Window w/ 6.38mm Lam. Low-E glass	STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E,(U-VALUE:5.7, SHGC:0.47)
FIRST FL	13	1500	1810	2.72	2150	Alum. Frame 2 Panel Awning Window w/ 6.38mm Lam. Low-E glass	STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E,(U-VALUE:5.7, SHGC:0.47)
FIRST FL	14	600	1000	0.60	2100	Alum. Frame Awning Window w/ 6.38mm Lam. Obscure Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	15	600	1500	0.90	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	17	600	1500	0.90	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	18	1500	1810	2.72	2100	Alum. Frame 2 Panel Awning Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	19	1500	1810	2.72	2100	Alum. Frame 2 Panel Awning Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	21	600	2100	1.26	2200	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	22	600	2100	1.26	2200	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	23	600	2100	1.26	2200	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	26	1200	1800	2.16	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E,(U-VALUE:5.7, SHGC:0.47)

NOTE:
WINDOWS; 02, 03, 10 & 20 HAVE BEEN REMOVED

AMENDMENT NOTES: ISSUE D - 12/09/2023

- AMEND ROOF RIDGE

- GENERAL REVIEW OF WINDOWS

D	SECTION 4.55 - MODIFICATION TO DA	12-09-2023	D.P	E.J.S
C	CONSTRUCTION CERTIFICATE	28-07-21	M.K	E.J.S
B	ADDITIONAL INFORMATION FOR COUNCIL LETTER	25-06-21	M.K	E.J.S
A	DEVELOPMENT APPLICATION	19-05-2021	M.K	E.J.S
ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT

MR STAMATIS DRAKOS

ADDRESS

19 EARLWOOD AVENUE

PROJECT

ALTERATIONS & ADDITIONS - FIRST FLOOR ADDITION

PROJECT STATUS

SECTION 4.55 - MODIFICATION

DRAWING TITLE

PROPOSED WINDOW SCHEDULE

SHEET NO: 14

ISSUE: D

SCALE: @A3

JOB NO: 888 1539

DESIGN: EJS

DRAWN: D.P

CHECKED BY: E.J.S

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Rod O'Laco: Nominated Architect NSW A.R.B. 6520.

Principal Design Practitioner: PDP0000407

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DOOR SCHEDULE						
Level	Mark	Height	Width	Door Area	Description	Basix Requirements
GROUND FL	02	2100	4000	8.40	Alum. Frame Sliding Door w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	03	2100	3000	6.30	Alum. Frame Sliding Door w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	04	2100	1815	3.81	Alum. Frame Sliding Door w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
GROUND FL	07	2040	820	1.67	Timber Hollow Core Cavity Sliding Door	N/A
GROUND FL	08	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
GROUND FL	22	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	09	2100	2400	5.04	Alum. Frame Sliding Door w/ 6.38mm Lam. Clear Glazing	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	10	2040	920	1.88	Alum. Frame Glazed Single Swing Door	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75)
FIRST FL	12	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	13	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	14	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	15	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	16	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	17	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	18	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	19	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	20	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	21	600	400	0.24	Timber Solid Core Internal Single Swing Door	N/A
FIRST FL	23	2040	820	1.67	Timber Solid Core Internal Single Swing Door	N/A

NOTE:
DOORS; 01, 06, 10 & 11 HAVE BEEN REMOVED

AMENDMENT NOTES: ISSUE D - 12/09/2023

- AMEND ROOF RIDGE

- GENERAL REVIEW OF WINDOWS

D	SECTION 4.55 - MODIFICATION TO DA	12-09-2023	D.P	E.J.S
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CLIENT

MR STAMATIS DRAKOS

ADDRESS

19 EARLWOOD AVENUE

PROJECT

ALTERATIONS & ADDITIONS - FIRST FLOOR ADDITION

PROJECT STATUS

SECTION 4.55 - MODIFICATION

DRAWING TITLE

PROPOSED DOOR SCHEDULE

SHEET NO: 15

ISSUE: D

SCALE: @A3

JOB NO: 888 1539

DESIGN: EJS

DRAWN: D.P

CHECKED BY: E.J.S

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BASIX[®]Certificate
Building Sustainability Index www.basix.nsw.gov.au

Certificate number: A413995_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A413995 lodged with the consent authority or certifier on 24 May 2021 with application DA409/2021.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Tuesday, 12, September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	19 EARLWOOD AVE_02
Street address	19 EARLWOOD Avenue EARLWOOD 2206
Local Government Area	Canterbury City Council
Plan type and number	Deposited Plan 14127
Lot number	34
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Building & Energy Consultants Australia
ABN (if applicable): 92122407783

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor	nil				
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)				
external wall: cavity brick	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorbance > 0.70)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.</p>						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W1	W	2.57	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D2	W	8.4	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D3	N	6.3	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W24	N	2.99	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W4	N	1.6	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
D4	E	3.81	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W5	E	2.71	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W6	S	2.48	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W7	S	0.9	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	S	2.548	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W9	S	1.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W25	W	0.29	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W11	N	0.9	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W12	N	2.72	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W13	N	2.72	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W14	N	0.6	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W15	N	0.9	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D9	E	5.04	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
D10	E	1.88	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W26	E	2.16	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W17	S	0.9	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W18	S	2.72	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	S	2.72	0	0	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W21	W	1.26	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W22	W	1.26	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W23	W	1.26	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Rod O'Laco: Nominated Architect NSW A.R.B. 6520
Principal Design Practitioner: PDP0000407

B.C.A NCC SPECIFICATIONS

The whole works shall be in accordance with the Building Code of Australia, local council building code and all other governing authorities concerned.

SITE CLEARING

All stumps and roots shall be grubbed out over the building area to a minimum distance of 2000mm clear of the building or to the boundaries of the site whichever is the less, and removed from the site.

EXCAVATOR

Cut and level where necessary under timber framed floors to give a minimum clearance of 400mm under bearers and 500mm under joists. Excavate for all footings and slabs in materials as found and as indicated on architectural and/or structural drawings. Excavations for all footings shall have level bottoms stepped as necessary and taken to even bearing. Remove excavated material from the site unless directed otherwise. Carry out all work necessary to render this trade complete.

DRAINER

All sewerage and drainage shall comply with the requirements of Sydney Water. A certificate of compliance to be produced to the owner on completion. Stormwater to be discharged in accordance with the local council's requirements.

CONCRETOR

Concrete work shall generally be in accordance with the relevant Australian Standards and Codes and in particular with AS 1480. Concrete specified by strength shall be tested in accordance with AS 1480. Ready mixed concrete shall also comply with AS 1379 for mixing and delivery. The concrete shall be supplied by an approved firm. Concrete mixed on site shall be in accordance with AS 1465 and AS 1315. Ingredients shall be mixed in a mechanical mixer in the following proportions by volume.

Coarse aggregate	(approximate 20mm)	4
Fine aggregate	(sharp sand)	2
Cement	(portland)	1

Keep reinforcement clean and store clear of ground. All reinforced concrete work shall be to Structural Engineer's details.

BRICKLAYER

All masonry construction in accordance with AS 3700. All brickwork shall be accurately bonded, carried up true and plumb in level courses to heights and thicknesses as indicated. Exposed brickwork shall be as selected or to match existing. Thoroughly clean down with diluted spirits of salts, wash down with clean water and leave free from stains. Build in galvanised steel ties, galvanised steel lintels, flashing, vents and damp proof courses as required. Galvanised steel lintels shall be as selected from the following table:

SPAN	LINTEL		LENGTH
up to 1200mm	76 x 10	bar	opening + 230mm
up to 1500mm	76 x 76 x 10	angle	opening + 230mm
up to 2400mm	127 x 76 x 10	angle	opening + 450mm
up to 3000mm	152 x 89 x 10	angle	opening + 450mm

Spans greater than 3000mm to Structural Engineer's details.

STRUCTURAL STEEL.

Supply, fabricate and erect steelwork shown on the structural engineer's drawings including hoisting and fixing in positions. All work to be in accordance with relevant SAA codes and standards.

CARPENTER AND JOINER

Timber used shall be sound, well seasoned and free from defect, accurately cut, fitted and fixed. Timber sizes, centre spacings and spans only apply to the grade indicated. Bearers, floor joists, stud work, ceiling joists, rafters, battens and other timber framework to be as indicated and/or in accordance with AS1684 S.A.A. Light Timber Framing Code. Supply and install new windows and doors as indicated. Supply and fix eaves lining to match underside of existing to underside of external ceiling areas. Supply and fix either selected sheet flooring, tongue and groove timber flooring or fibrous cement sheet flooring to floor joists where indicated all in accordance with manufacturer's recommendations and instructions. Architraves and skirlings to be selected and/or to match existing.

ROOFING

Supply and fix roofing specified or as selected in accordance with relevant Australian Standard and manufacturer's instructions. Sheet roofing: Shall be metal sheet roofing without traverse laps that complies with AS 1562 and with manufacturer's instructions. Tile roofing: Shall comply with AS2050 and manufacturer's instructions.

PLUMBER

All work shall comply with the requirements of, and to the approval of Sydney Water. Extend existing services and connect to new fittings as indicated. Water supply shall be connected to all fittings from the supply authority's water main in accordance with its requirements. All internal works shall be copper tubing with hot water pipes suitably insulated. A certificate of satisfactory completion shall be obtained. Provide selected guttering and downpipe to roof and drain roof water to stormwater line as required.

ELECTRICIAN

All work to be carried out in accordance with the supply authority's requirements and the S.A.A. Wiring Rules. Connect into existing service. Provide power points and light points to client's requirements. Smoke detectors to be installed in Class 1A buildings to comply with Clause E1.7 (C) of the building code of Australia.

GLAZIER

Glass and glazing shall be in accordance with AS 1288. All glass to be free of defects and of proper weights relative to sheet size. Glazing to be selected or to match existing. Obscure glazing shall be provided as selected and to the proprietor's instructions.

PLASTERER

Gypsum plasterboard sheets for internal wall and ceiling linings shall be of an approved type: 13mm thick for studwork, ceiling joists and/or rafters at 600mm centres, 10mm thick for studwork, ceiling joists and/or rafters at 450mm centres. Fix to manufacturer's written instructions and all joints to be set level and smooth. Line walls as indicated with 6mm Villaboard sheeting fixed to manufacturer's instructions. All internal brickwork or masonry surfaces as indicated shall be cement rendered in accordance with AS CA27 to a minimum thickness of 13mm. Internal cement render shall be 9 parts clean sand, 1 part fresh cement, 2 parts lime. Make good where new work abuts existing, at new openings and as indicated. Cornice to be selected and/or to match existing.

PAINTER

The proprietor to attend to all painting, staining and varnishing. All paints or other coatings shall be of best quality materials and of approved manufacture. All priming materials shall be of an approved brand acceptable to the manufacture of the finishing coats to be used. All surfaces shall be finished to match existing. External joinery shall be primed on all faces at place of assembly. Where joinery is to be other than painted it shall be treated at place of assembly with a primer having preservative and water repellent properties. All other exposed external woodwork shall be primed at time of fixing and shall receive finish as selected. All internal surfaces shall be suitably and adequately treated to the client's requirements. All exposed metalwork shall receive two coats metal primer, one undercoat, and one coat full gloss. All lined surfaces except where tiled to be given one coat sealer, and two coats of flat plastic paint. All colours to be selected by the proprietor.

INSULATION

Supply and fit selected insulation and sisalation to walls, roofs and ceiling as directed by the proprietor and indicated on plans.

P.C.ITEMS

The P.C. items are to be selected by the owner and installed by the Builder.

COMPLETION

The works shall be complete in every trade. Sashes, doors, locks and all other equipment shall be checked and left in a satisfactory operating condition. Surplus materials and rubbish shall be removed from the site. All to be left clean and fit for occupation with glass cleaned, gutters and drains cleared and all approvals given.

AMENDMENT NOTES: ISSUE D - 12/09/2023

- AMEND ROOF RIDGE

- GENERAL REVIEW OF WINDOWS

D	SECTION 4.55 - MODIFICATION TO DA	12-09-2023	D.P	E.J.S
C	CONSTRUCTION CERTIFICATE	28-07-21	M.K	E.J.S
B	ADDITIONAL INFORMATION FOR COUNCIL LETTER	25-06-21	M.K	E.J.S
A	DEVELOPMENT APPLICATION	19-05-2021	M.K	E.J.S
ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT

MR STAMATIS DRAKOS

ADDRESS

19 EARLWOOD AVENUE

PROJECT

ALTERATIONS & ADDITIONS - FIRST FLOOR ADDITION

PROJECT STATUS

SECTION 4.55 - MODIFICATION

DRAWING TITLE

B.C.A NCC SPECIFICATIONS

SHEET NO:	17	ISSUE:	D
SCALE:	1 : 100@A3	JOB NO:	888 1539
DESIGN:	EJS	DRAWN:	D.P
CHECKED BY:	E.J.S		

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Rod O'Laco: Nominated Architect NSW A.R.B. 6520.

Principal Design Practitioner: PDP0000407

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